



201 - 301  
Piedmont Grove Park  
Greenville, SC

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## Site Plan



Axial Crosspoint consists of three rear-load buildings totaling over 558,000 square feet with ample employee parking and trailer parking. The three buildings measure 283,242, 73,271 and 201,649 square feet and provide the flexibility to accommodate multiple tenants. These features, along with modern clear heights, satisfy both local and regional distribution tenants in addition to light manufacturing and assembly users.





Ready for Occupancy June 2024





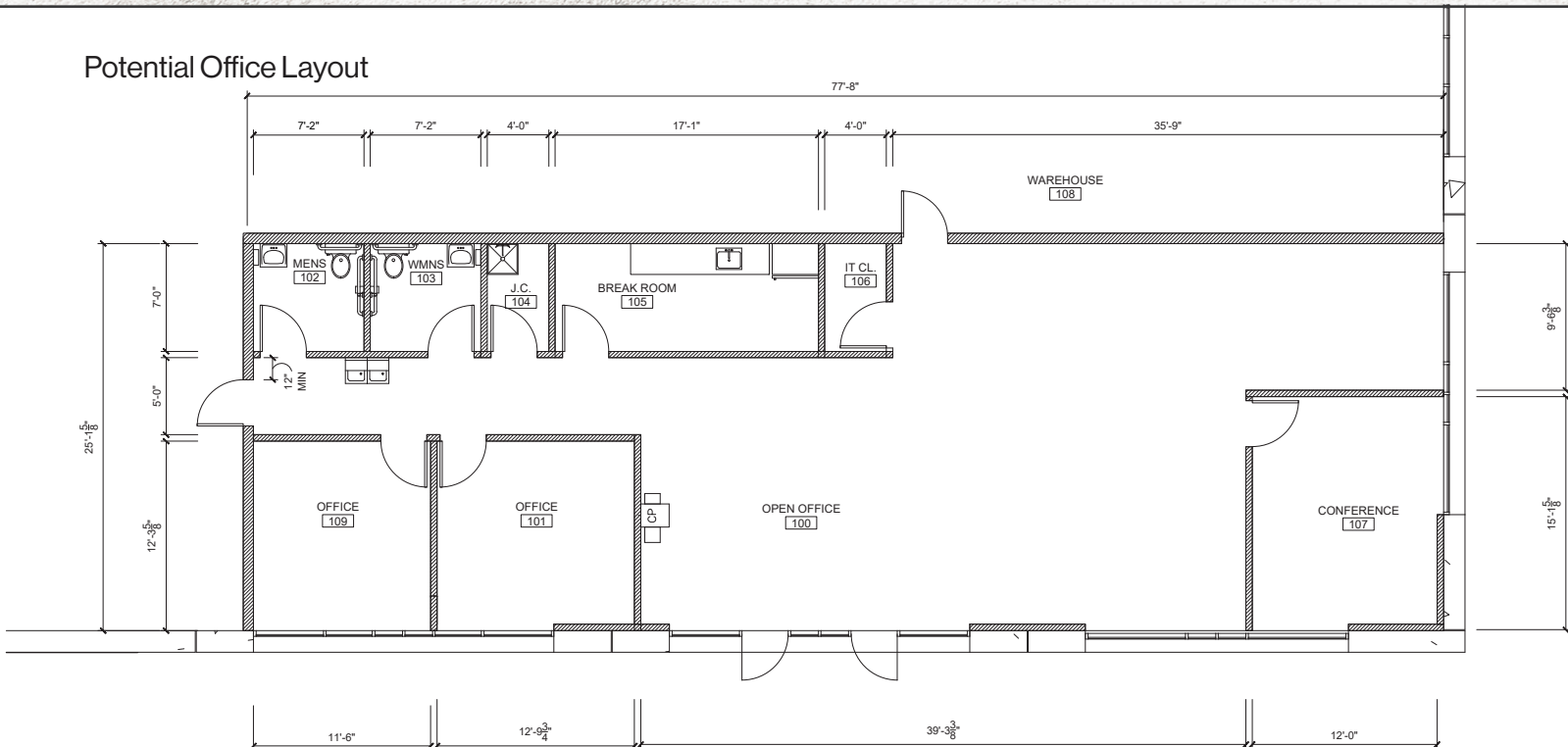
## Property Details

### Building 1 - 201 Piedmont Grove Park

Available Space: 68,453 SF  
 Building Size: 283,242 SF  
 Spec Office Space: BTS  
 Dimensions: 260' x 1,080'  
 Clear Height: 36'  
 Dock Doors: 43 Available  
 Dock Packages: 4, with 35K lb levelers  
 Drive-In Doors: 1 Available  
 Column Spacing: 54' x 50' (60' speed bay)  
 Slab Thickness: 7"  
 Sprinkler: ESFR  
 Lighting: LED  
 Auto Parking: 216 Spaces  
 Trailer Parking: 47 Spaces  
 Concrete tilt wall  
 Rear-load configuration



### Potential Office Layout





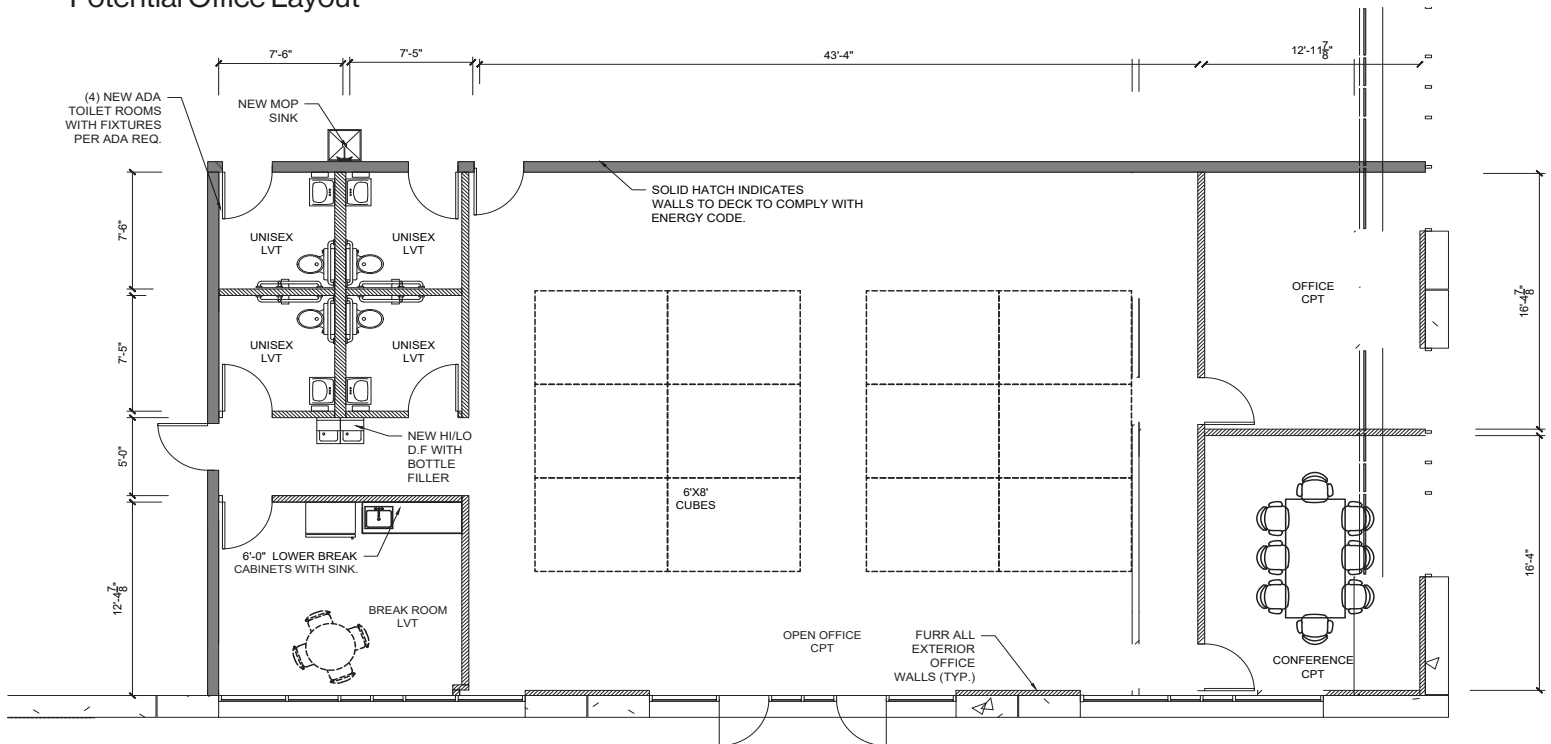
## Property Details

### Building 3 - 301 Piedmont Grove Park

Available Space: 77,291 SF  
 Minimum Divisibility: 32,726 SF  
 Building Size: 201,649 SF  
 Spec Office Space: BTS  
 Dimensions: 210' x 950'  
 Clear Height: 36'  
 Dock Doors: 21 Available  
 Dock Packages: 2, with 35K lb levelers  
 Drive-In Doors: 0 Available (1 Knock-Out)  
 Column Spacing: 52' x 50' (60' speed bay)  
 Slab Thickness: 7"  
 Sprinkler: ESFR  
 Lighting: LED  
 Auto Parking: 196 Spaces  
 Trailer Parking: 12 Spaces  
 Concrete tilt wall  
 Rear-load configuration



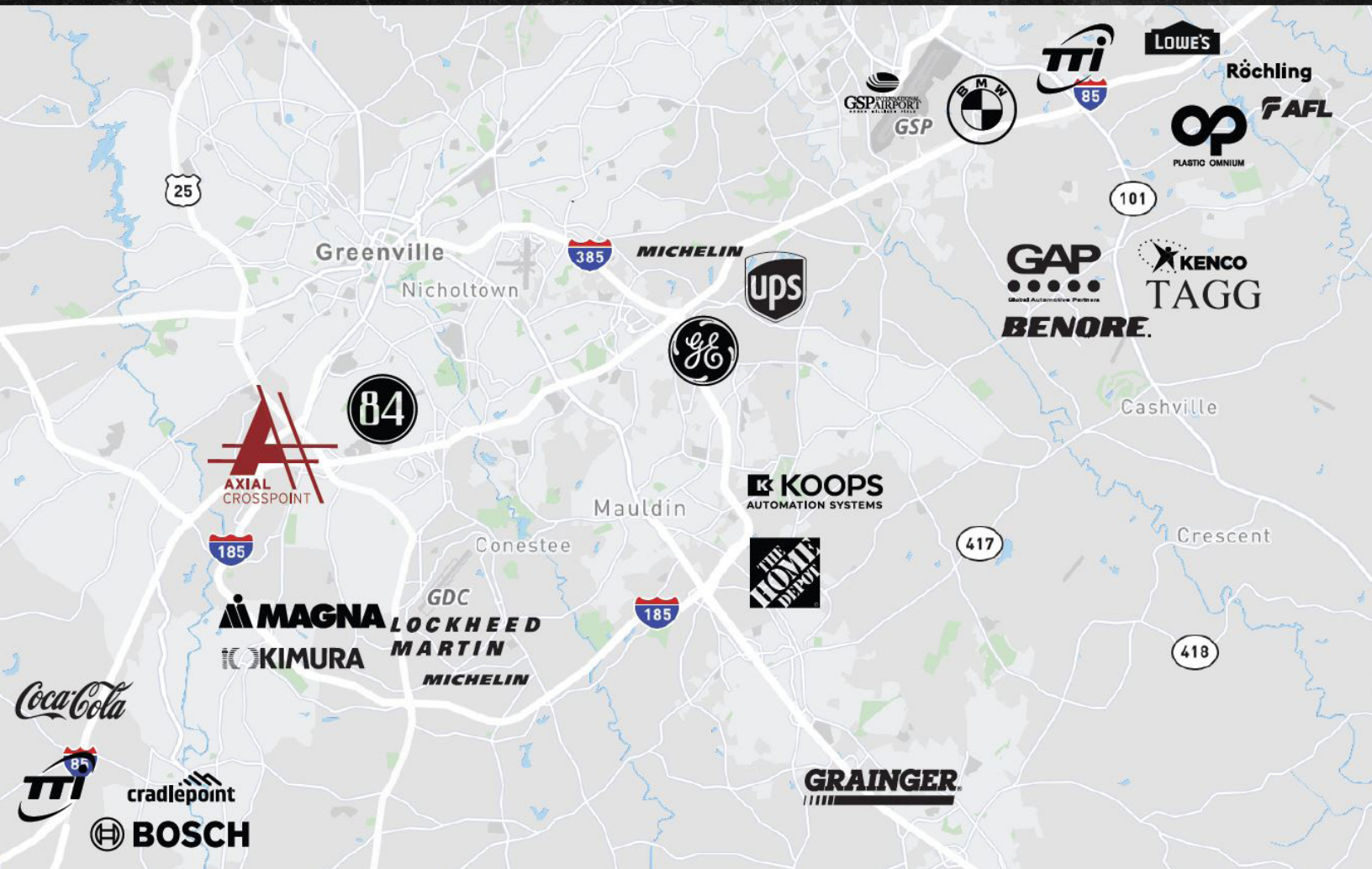
### Potential Office Layout





# AXIAL CROSSPOINT

BY CRESCENT  
COMMUNITIES



Midpoint of the East Coast between  
Miami and New York

Located along the I-85  
corridor between Charlotte  
and Atlanta

More than 520 international  
companies with a presence  
in Greenville-Spartanburg

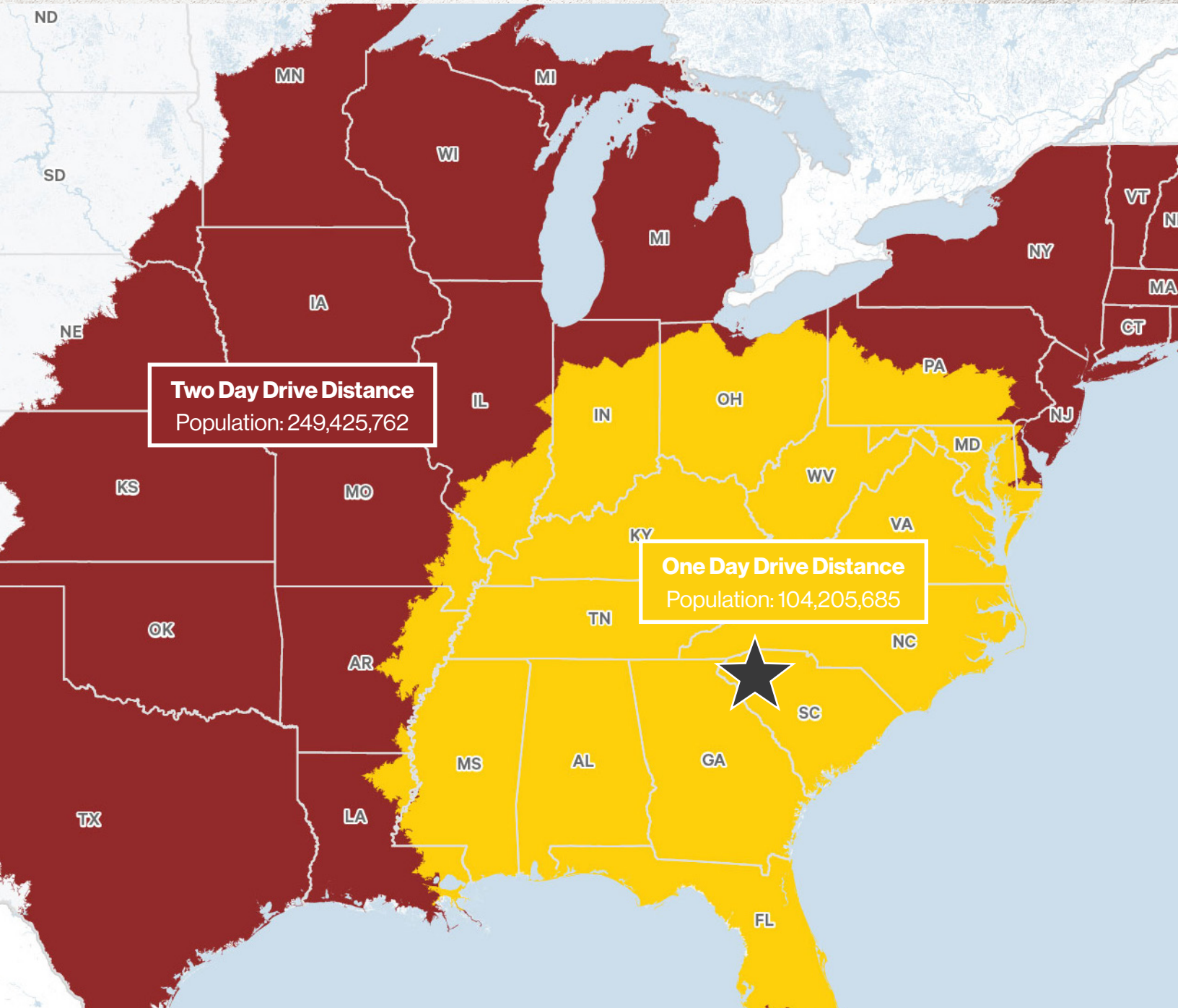
Market has averaged roughly 5  
million square feet of positive net  
absorption during the past five years

Industrial market measures  
approximately 201 million  
square feet

Excellent last mile location  
only 4.9 miles from  
Downtown Greenville



## Drive Time Map



**I-85**  
1.1 Miles

**Greenville**  
4.5 Miles

**UPS Freight**  
14.0 Miles

**GSP Airport**  
15.4 Miles

**FedEx Freight**  
20.5 Miles

**Inland Port**  
21.7 Miles





**CBRE**

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